

12 Museum Street, Ipswich, IP1 1HT



Town centre
office suites
available

To Let

- Located in the central business district
- Open plan air-conditioned office suites
- Suites available from 720 sq ft up to 13,311 sq ft
- Secure onsite car parking available
- Rent £13.50 per sq ft



- Most Active Agent Essex 2019, 2020, 2021 & 2022
- Most Active Agent Suffolk 2020 & 2022
- Dealmaker of the Year Essex 2019 & 2020
- Dealmaker of the Year Suffolk 2020
- Dealmaker of the Year South East 2021 & 2022



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Details

Location

Ipswich is the county town of Suffolk and major commercial centre of East Anglia. The A12 and A14 trunk routes provide excellent road communications with London, Cambridge, the Midlands and the national motorway network. The M25 and Stansted Airport are both within an hour's drive. The approximate train journey from Ipswich to London (Liverpool Street) is 1 hour and 10 minutes.

The property is located in the central business district on the west side of Museum Street, the town's prime shopping area being immediately to the north.

Description

The property comprises a modern purpose-built office building arranged upon ground and two upper floors providing open plan office accommodation. Good quality glazed and studwork partitions have been installed to create individual offices, meeting rooms and kitchen facilities. The ground floor rear suite, formerly used as a computer room, can be converted and refurbished to a tenants requirements.

A side entrance leads onto a small landscaped courtyard with gated access to the secure, covered car park approached via a service road off Black Horse Lane.

The specification includes:

- Raised access floors
- Air conditioning
- Suspended ceilings with recessed lighting
- Double glazing
- Male, female and disabled WCs
- Kitchen and Shower facilities
- 8 person lift

Accommodation

The available suites provide the following approximate net floor areas:

Ground Floor

Suite 1	720 sq ft	(66.89 sq m)
Suite 2	619 sq ft	(57.51 sq m)
Suite 3#	861 sq ft	(79.99 sq m)

First Floor

Suite 4*	1,822 sq ft	(169.27 sq m)
Suite 5*	3,767 sq ft	(349.96 sq m)

Second Floor

Suite 6~	1,758 sq ft	(163.32 sq m)
Suite 7	3,764 sq ft	(349.68 sq m)

Total Net Internal Floor Area 13,311 sq ft (1,236.62 sq m)

requires conversion.

* available end of June 2024.

~ requires refurbishment.

Services

We understand the property is connected to mains electricity, water and drainage. The gas fired central heating system has been decommissioned.

We have not tested any of the services and all interested parties should rely upon their own enquiries with the relevant utility providers in connection with the availability and capacity of all those serving the property, including IT and telecommunications.

Business Rates

According to the Valuation Office Agency, the currently Rateable Values are as follows:

Suite 1 Rateable Value:	£9,500
Suite 3 Rateable Value:	£11,500
Suite 2 & 4 Rateable Value:	£32,250
Suite 5 Rateable Value:	£50,500
Suite 6 Rateable Value:	£23,750
Suite 7 Rateable Value:	£48,750

The rates payable will dependant on the Rateable Value of the suite and the size of the suite. If the Rateable Value is £51,000 or more then the Rates Payable would be based upon the current Standard multiplier of £0.512. If the Rateable Value is below £51,000 then the Rates Payable would be based upon the current Small business multiplier of £0.499.

All interested parties should make their own enquiries with the local rating authority to verify their rates liability.

Local Authority

Ipswich Borough Council, Grafton House, 15-17 Russell Road, Ipswich, Suffolk, IP1 2DE

Tel: 01473 432000

Terms

The suites are available upon new effective full repairing and insuring business leases upon term to be agreed and at an initial rent of £13.50 per sq ft.

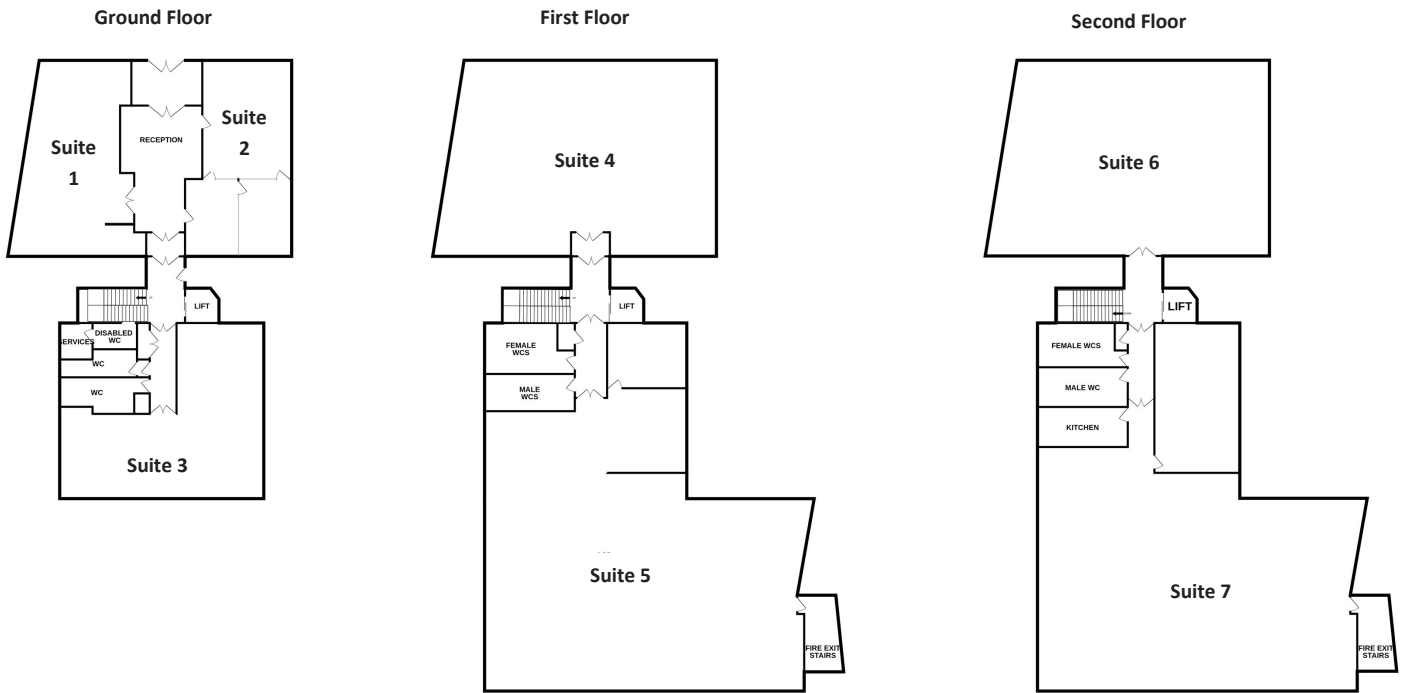
The rent is subject to VAT.

Service Charge

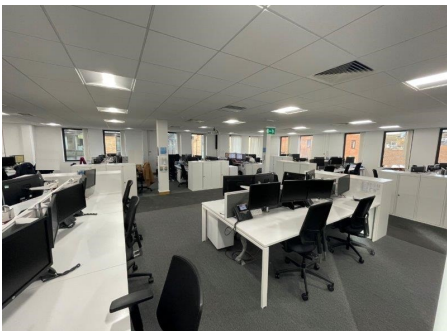
A service charge is payable in relation to the upkeep of the exterior, structure and common areas.

Legal Costs

Each party is to be responsible for their own legal costs.



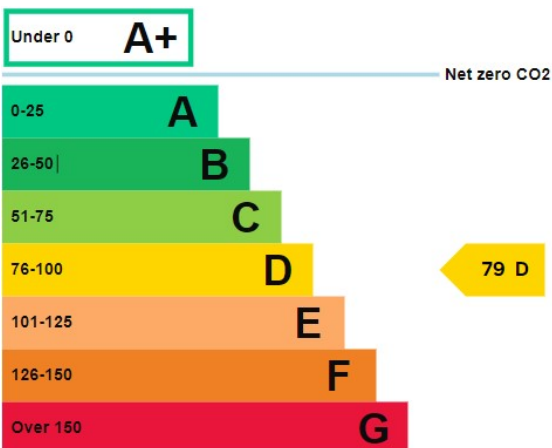
Not To Scale - For Identification Purposes Only



Particulars

Prepared in December 2023.

EPC



Viewing

Strictly by prior appointment with the joint sole agents:

Fenn Wright

1 Buttermarket, Ipswich, IP1 1BA

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Scotts Property LLP

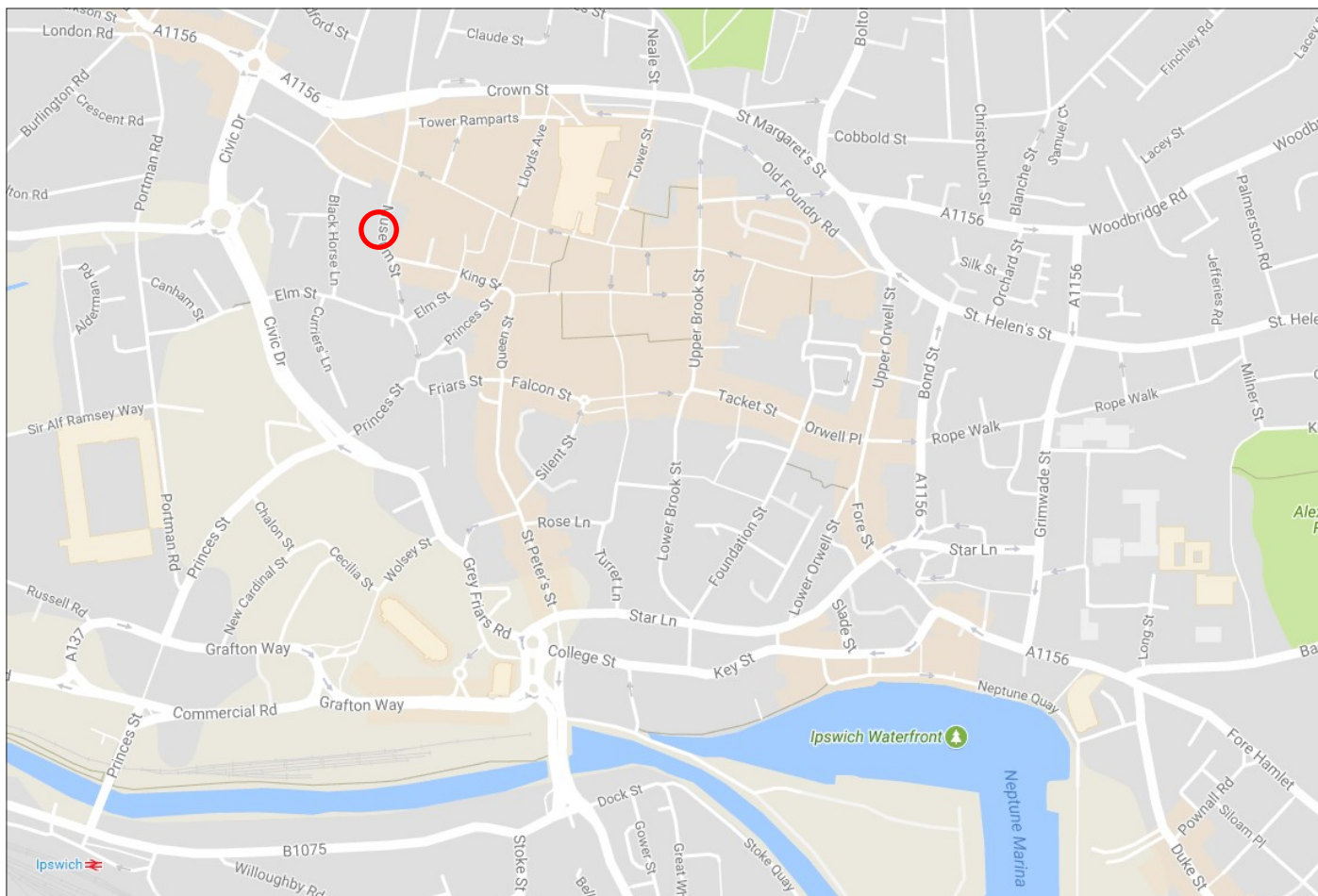
66-68 Humber Street, Hull, HU1 1TU

01482 325 634



Contact **Tim Powell**

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For further information

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fennwright.co.uk

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